

<b>PLAN OF SUBDIVISION</b>	<b>EDITION 1</b>	<b>PS743463N</b>
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<b>LOCATION OF LAND</b>  <b>PARISH: TARNEIT</b> <b>TOWNSHIP:</b> ..... <b>SECTION:</b> 21 <b>CROWN ALLOTMENT:</b> ..... <b>CROWN PORTION:</b> C (Part) <b>TITLE REFERENCE:</b> Vol. Fol.  <b>LAST PLAN REFERENCE:</b> Lot G on PS743462Q  <b>POSTAL ADDRESS:</b> 1121 Dohertys Road (at time of subdivision) TARNEIT 3029  <b>MGA 94 CO-ORDINATES:</b> E: 295 550 ZONE: 55 (of approx centre of land in plan) N: 5811 010	Council Name: Wyndham City Council  Council Reference Number: WYS3881/16 Planning Permit Reference: WYP6863/13 SPEAR Reference Number: S091481T  <b>Certification</b>  This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 15/08/2018  Public Open Space  A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification  Digitally signed by: Danielle Kos for Wyndham City Council on 17/07/2019
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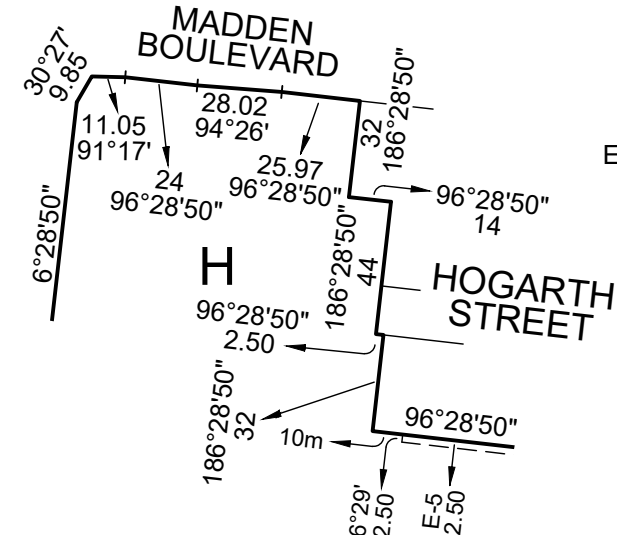
<b>VESTING OF ROADS AND/OR RESERVES</b>	<b>NOTATIONS</b>	
IDENTIFIER	COUNCIL/BODY/PERSON	Lots on this plan may be affected by one or more restrictions. Refer to Creations of Restriction A, B & C on Sheets 8, 9 & 10 of this plan for details.  <b>OTHER PURPOSE OF PLAN</b> To Remove that part of easements E-5 & E-6 created on PS743462Q in so far as where they lie within Road R1 herein. <b>GROUNDS FOR REMOVAL:</b> By agreement between all interested parties.
Road R1 Reserve No.1 Reserve No.2	Wyndham City Council Wyndham City Council Powercor Australia Ltd	
<b>NOTATIONS</b>		
DEPTH LIMITATION: Does Not Apply		
SURVEY: This plan is based on survey.		
STAGING: This is not a staged subdivision. Planning Permit No. WYP 6863/13		
<b>EMERALD PARK - Release 7</b> Area of Release: 3.606ha No. of Lots: 48 Lots and Balance Lot H		

**EASEMENT INFORMATION**

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

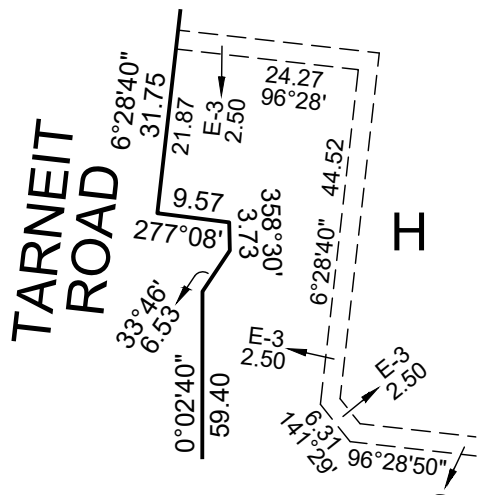
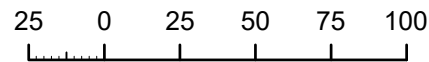
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
Easements E-1, E-2, E-4, have been omitted from this plan.				
E-3	Sewerage	See Diag.	PS733919B	City West Water Corporation
E-5	Sewerage	See Diag.	PS743462Q	City West Water Corporation
E-6	Drainage	See Diag.	PS743462Q	Wyndham City Council
E-7	Drainage	See Diagram	PS743462Q	Wyndham City Council
	Sewerage		PS733919B	City West Water Corporation
E-8	Drainage	See Diag.	PS743462Q	Melbourne Water Corporation
E-9	Sewerage	2.50	This Plan	City West Water Corporation
E-10	Drainage	See Diag.	This Plan	Wyndham City Council
E-11	Drainage	See Diagram	This Plan	Wyndham City Council
	Sewerage		PS733919B	City West Water Corporation
E-12	Drainage	See Diagram	This Plan	Wyndham City Council
	Sewerage			City West Water Corporation

 <b>Urban Development   Built Environments   Infrastructure</b> 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800   Web: taylorssds.com.au	SURVEYORS FILE REF: Ref. 02270-S7	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 10
	Digitally signed by: Richard David Illingworth, Licensed Surveyor, Surveyor's Plan Version (10), 15/03/2019, SPEAR Ref: S091481T		



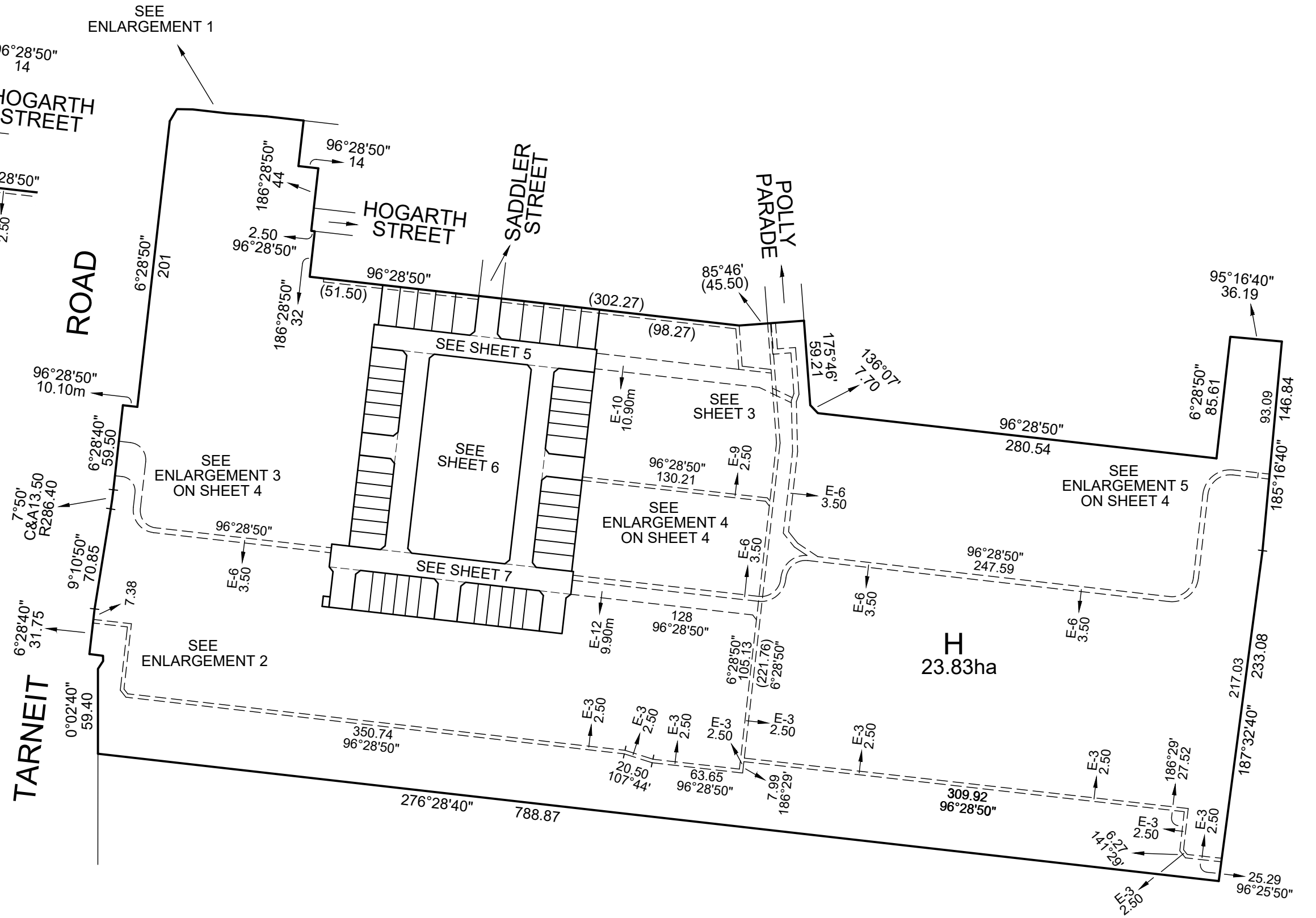
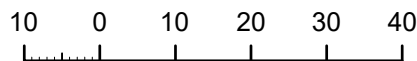
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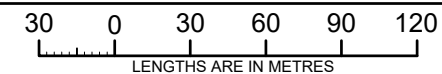
ENLARGEMENT 2

1:1000



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SCALE  
1:3000



ORIGINAL SHEET  
SIZE: A3

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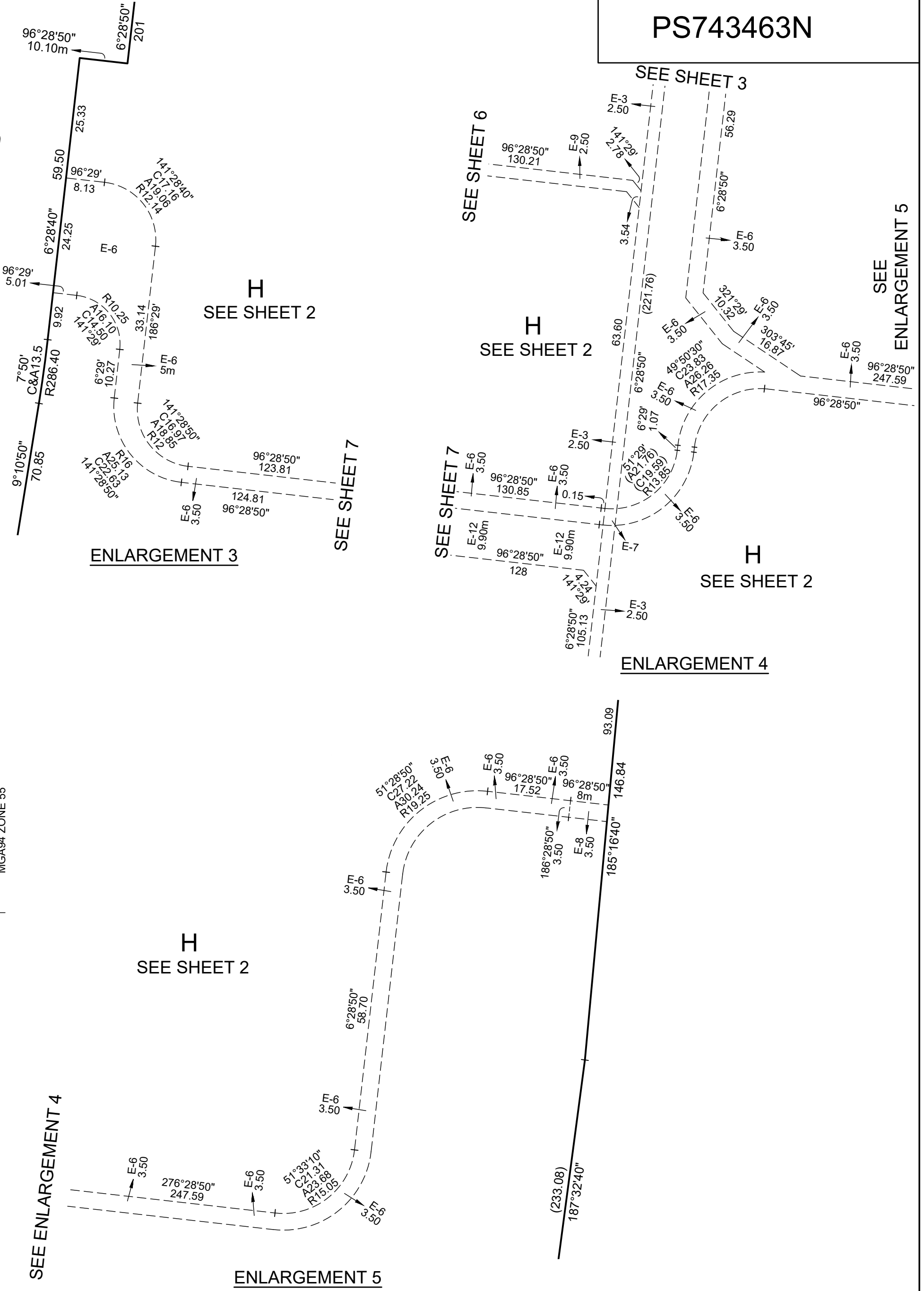
SHEET 2

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 15/03/2019, SPEAR Ref: S091481T

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 17/07/2019,  
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TARNEIT ROAD





MGA94 ZONE 55

SEE SHEET 2  
ENLARGEMENT 1

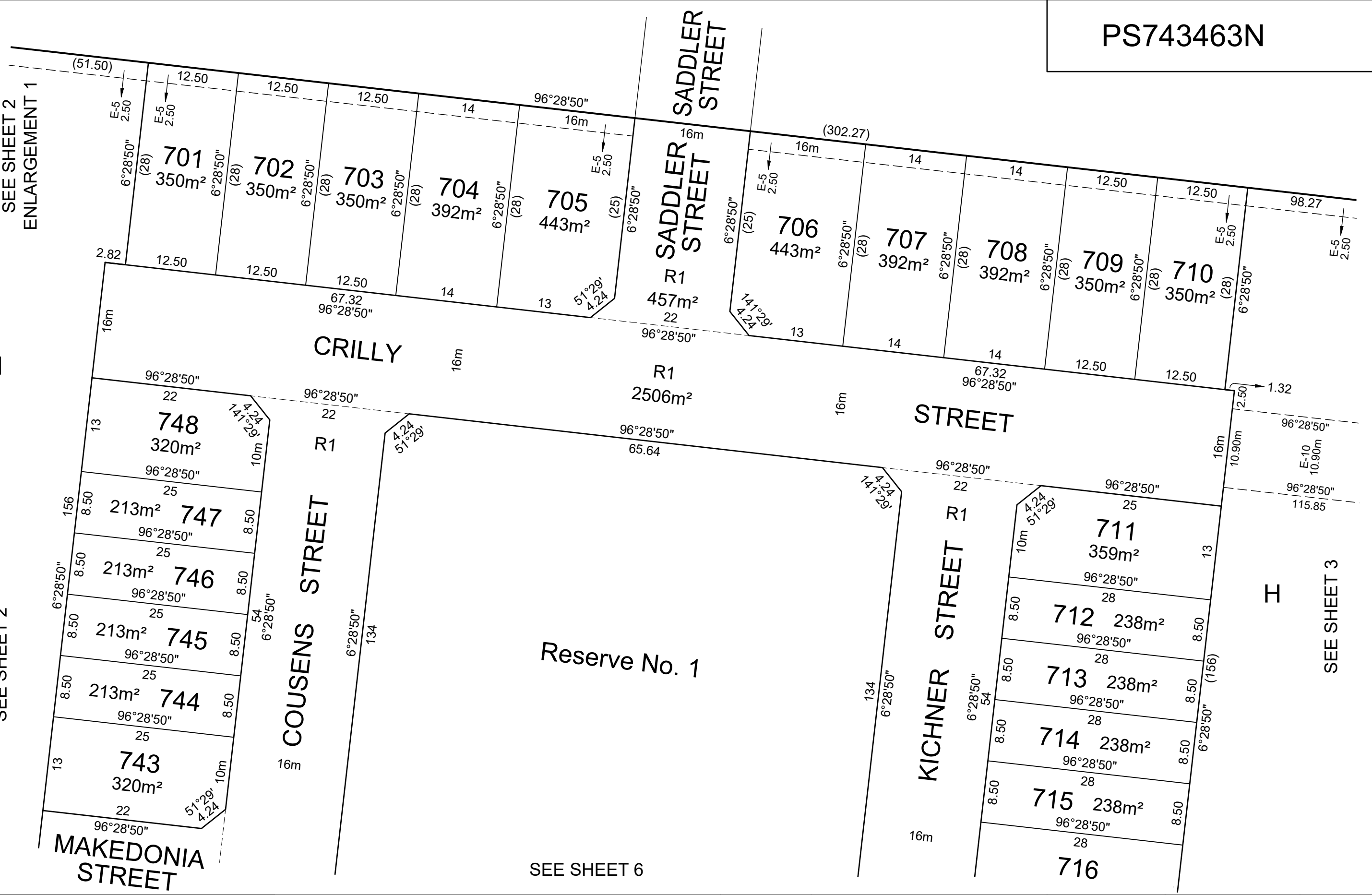
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SEE SHEET 2

SEE SHEET 3

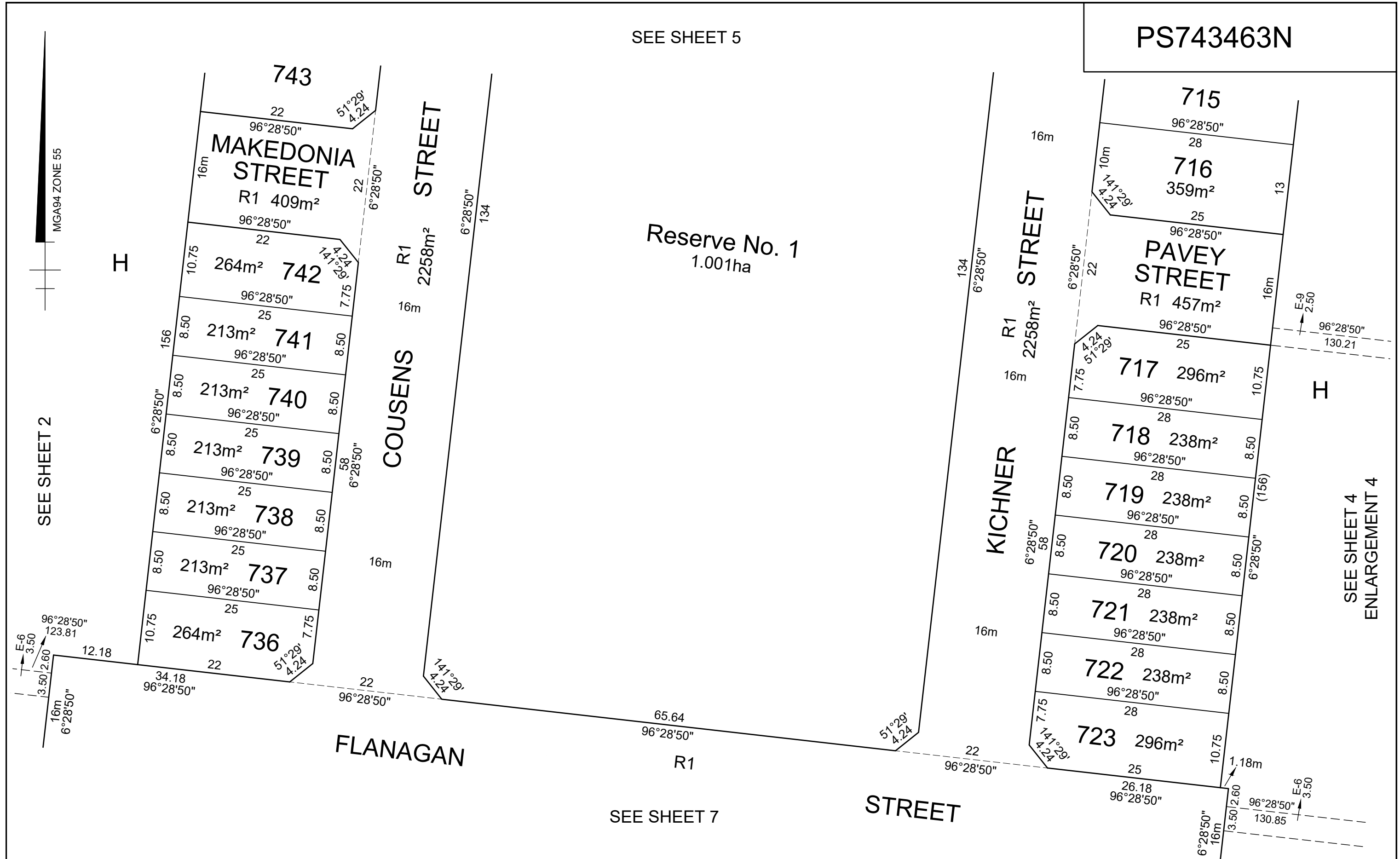
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SEE SHEET 6



SEE SHEET 5

PS743463N



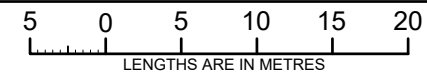
SEE SHEET 2

SEE SHEET 4  
ENLARGEMENT 4

# TAYLORS

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SCALE  
1:500



ORIGINAL SHEET  
SIZE: A3

Ref. 02270-S7

SHEET 6

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17/07/2019,  
SPEAR Ref: S091481T

SEE SHEET 6

COUSENS STREET

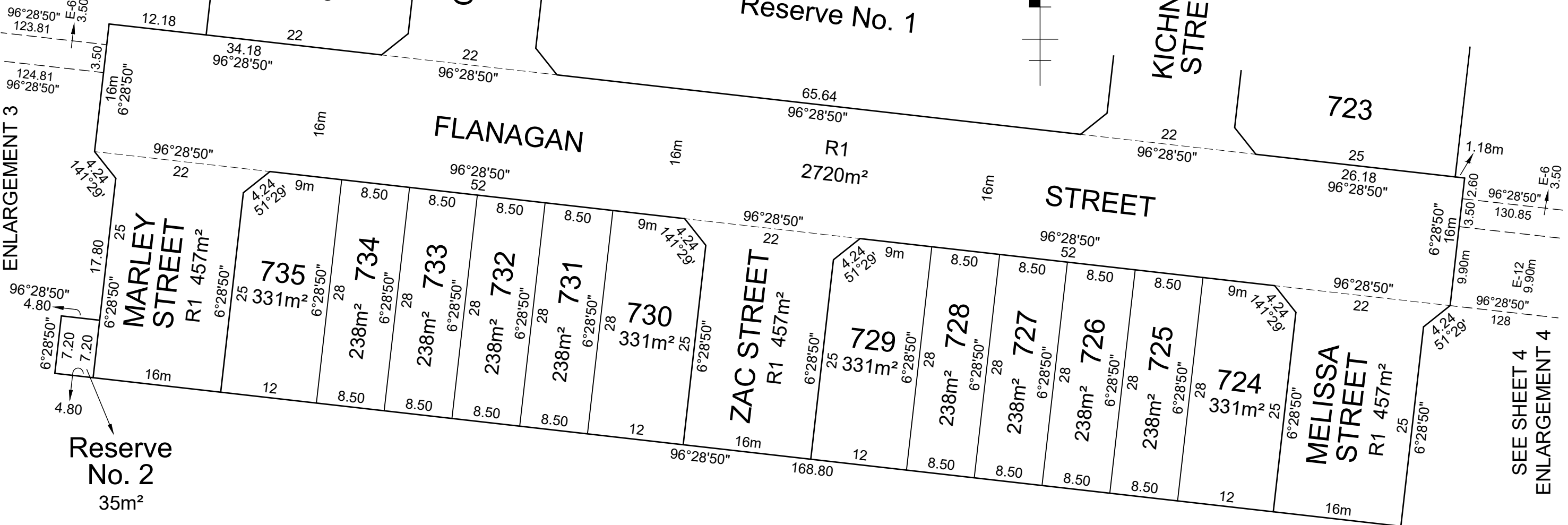
Reserve No. 1

MGA94 ZONE 55

KICHNER STREET

736

723



SEE SHEET 4  
ENLARGEMENT 3

SEE SHEET 4  
ENLARGEMENT 4

H  
SEE SHEET 2

## CREATION OF RESTRICTION 'A'

PS743463N

Upon registration of this plan the following restriction is created.

LAND TO BE BURDENED: See Table 1

LAND TO BENEFIT: See Table 1

### DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN:

MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OTHER THAN A BUILDING WHICH HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE SMALL LOT HOUSING CODE (TYPE "A") INCORPORATED INTO THE WYNDHAM PLANNING SCHEME UNLESS A PLANNING PERMIT IS GRANTED BY THE RESPONSIBLE AUTHORITY FOR A BUILDING THAT DOES NOT CONFORM WITH THE SMALL LOT HOUSING CODE.

THIS RESTRICTION SHALL CEASE TO APPLY TO ANY BUILDING ON THE LOT AFTER THE ISSUE OF A CERTIFICATE OF OCCUPANCY FOR THE WHOLE OF A DWELLING ON THE LOT.

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
712	711, 713
713	712, 714
714	713, 715
715	714, 716
717	718
718	717, 719
719	718, 720
720	719, 721
721	720, 722
722	721, 723
723	722
725	724, 726
726	725, 727
727	726, 728
728	727, 729

TABLE 1 (Continued)

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
731	730, 732
732	731, 733
733	732, 734
734	733, 735
736	737
737	736, 738
738	737, 739
739	738, 740
740	739, 741
741	740, 742
742	741
744	743, 745
745	744, 746
746	745, 747
747	746, 748

## CREATION OF RESTRICTION 'B'

Upon registration of this plan the following restriction is created.

LAND TO BE BURDENED: Lots 701 to 748 (both inclusive) on this plan.

LAND TO BENEFIT: Lots 701 to 748 (both inclusive) on this plan.

### DESCRIPTION OF RESTRICTION

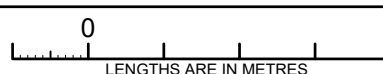
THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT TO WHICH THIS RESTRICTION APPLIES MUST NOT BUILD OR PERMIT TO BE BUILT A DWELLING OR COMMERCIAL BUILDING UNLESS THE BUILDING INCORPORATES DUAL PLUMBING FOR RECYCLED WATER SUPPLY FOR TOILET FLUSHING AND GARDEN WATERING USE IF IT BECOMES AVAILABLE.

THIS RESTRICTION SHALL CEASE TO APPLY TO ANY BUILDING ON THE LOT AFTER THE ISSUE OF A CERTIFICATE OF OCCUPANCY FOR THE WHOLE OF A DWELLING ON THE LOT.

**TAYLORS**

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SCALE



ORIGINAL SHEET  
SIZE: A3

Ref. 02270-S7

SHEET 8

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Digitally signed by:  
Wyndham City Council,  
17/07/2019,  
SPEAR Ref: S091481T



# CREATION OF RESTRICTION 'C'

PS743463N

The following Restriction is to be created upon Registration of this plan.

LAND TO BE BURDENED: See Table 2  
LAND TO BENEFIT: See Table 2

## DESCRIPTION OF RESTRICTION

Except with the written consent of the Responsible Authority the registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not:

1. Construct or allow to be constructed or remain on the lot any building or garage outside the building envelope shown hatched in the schedule on sheet 10 of this plan (excluding allowable projecting building elements that project outside the building envelopes as contained in Part 5 Regulation 74(3), 79(3) & 79(4) of the Building Regulations 2018).
2. Construct any building or garage on a side boundary of a lot unless the building or garage is set back a minimum of 1 metre from the other side boundary of that lot.
3. Construct a garage or carport which is set back less than 5.5 metres from the front boundaries.
4. Construct a garage with an opening which occupies more than 40% of the width of the lot frontage.
5. Construct a building which, notwithstanding the extent of the building envelope, fails to otherwise meet the requirements of Part 5 of the Building Regulations 2018.

This Restriction shall cease to have affect after the issue of the certificate of occupancy (or the like) under the Building Act 1993 for the whole of the parcel.

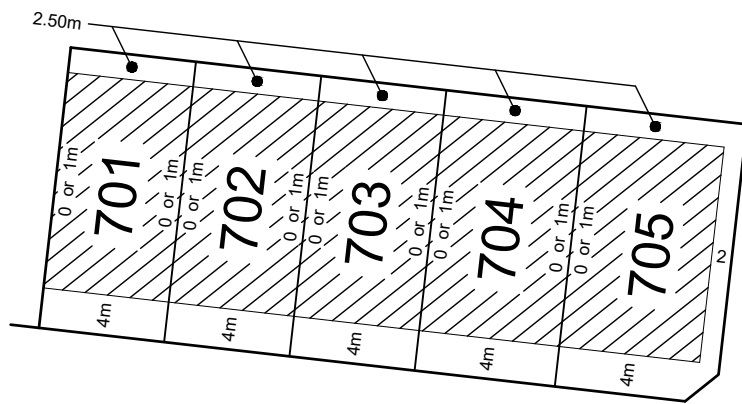
TABLE 2

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
701	702
702	701, 703
703	702, 704
704	703, 705
705	704
706	707
707	706, 708
708	707, 709
709	708, 710
710	709
711	712
716	715
724	725
729	728
730	731

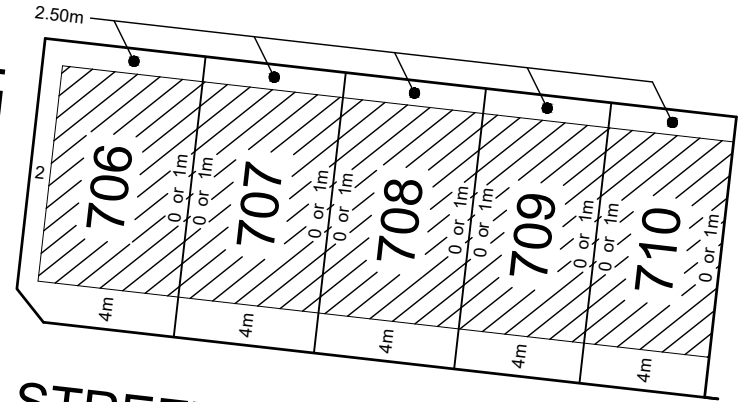
TABLE 2 (Continued)

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
735	734
743	744
748	747

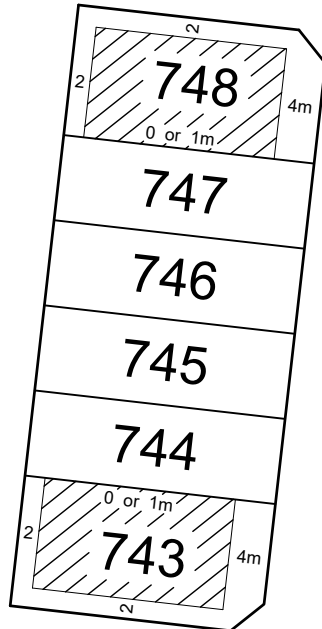
MGA94 ZONE 55



SADDLER STREET

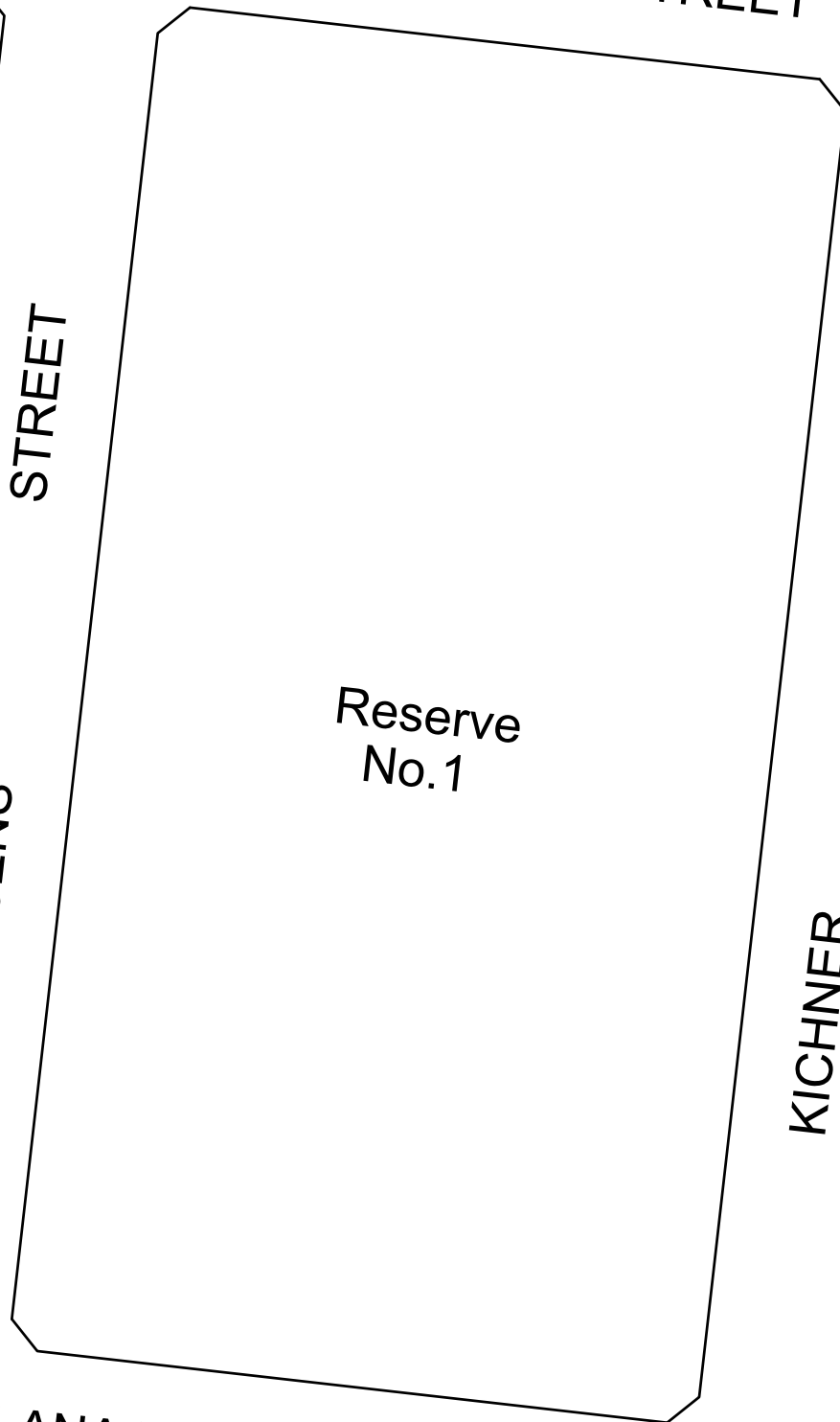
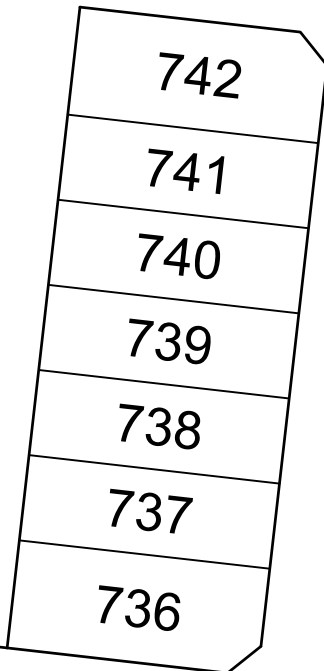


CRILLY STREET

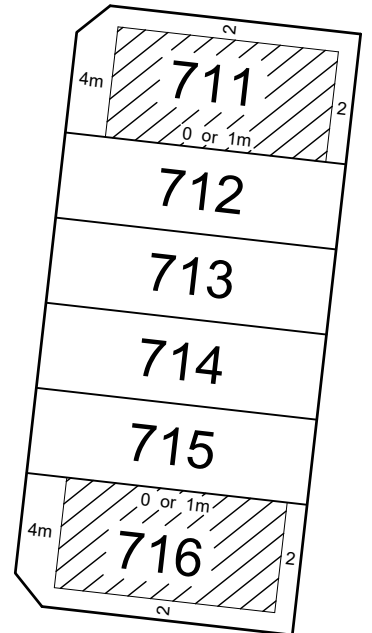


COUZENS STREET

MAKEDONIA STREET

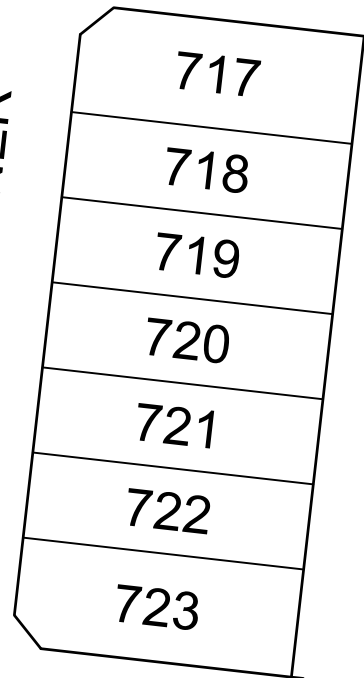


Reserve No. 1

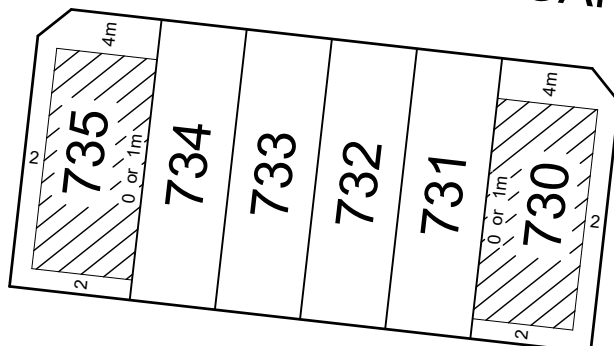


PAVEY STREET

KICHNER STREET



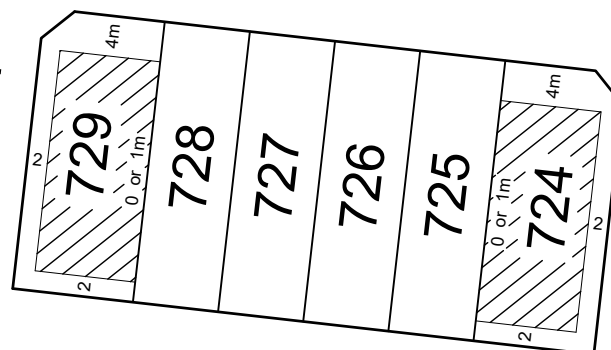
FLANAGAN STREET



MARLEY STREET

Reserve No. 2

ZAC STREET



MELISSA STREET