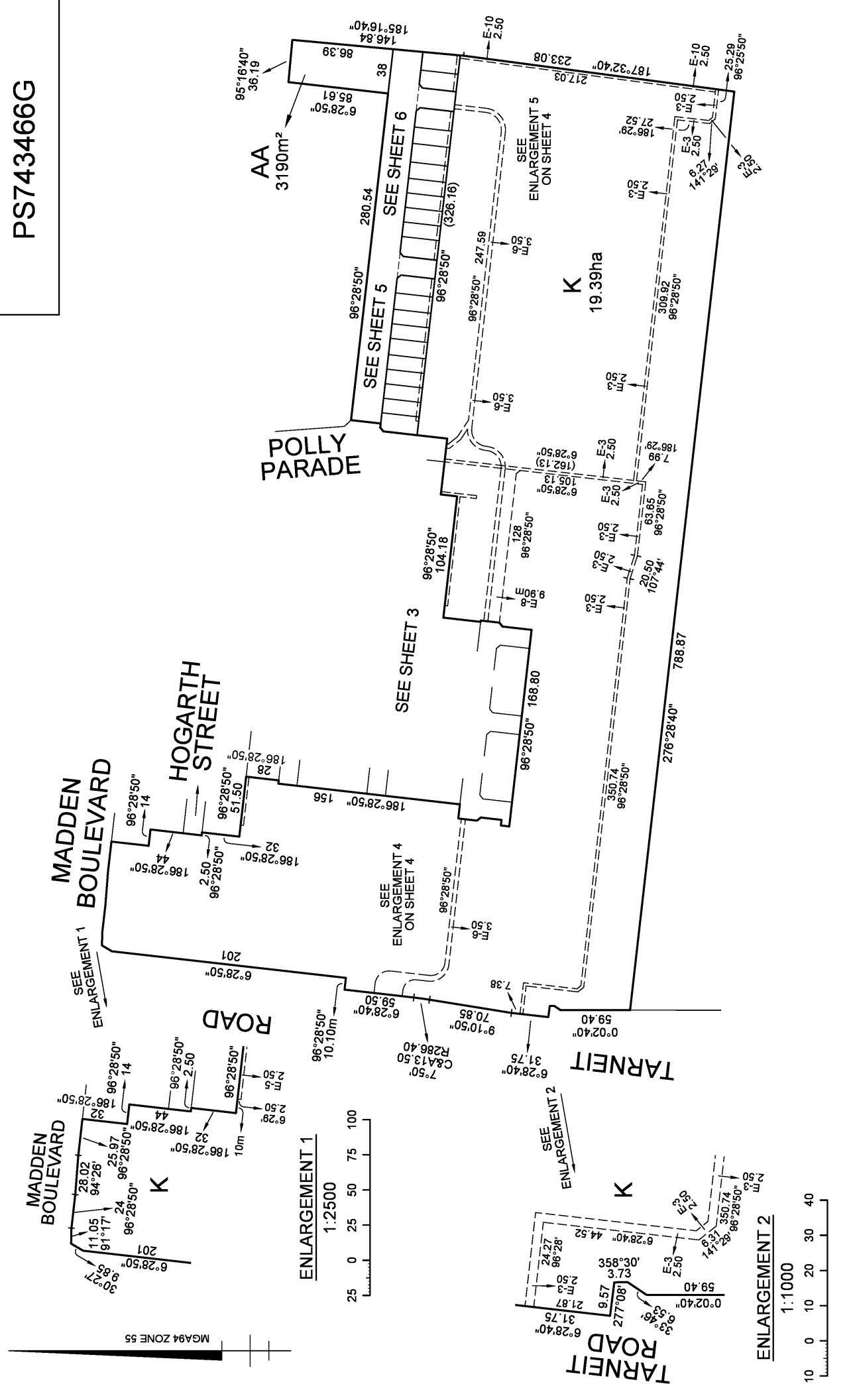
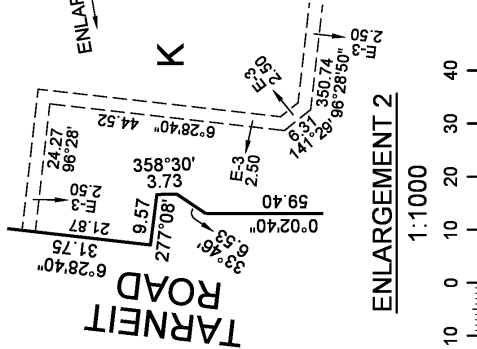
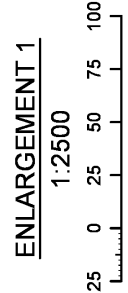


PLAN OF SUBDIVISION		EDITION 1	PS743466G	
LOCATION OF LAND PARISH: TARNEIT TOWNSHIP: SECTION: 21 CROWN ALLOTMENT: CROWN PORTION: C (Part) TITLE REFERENCE: Vol.12182Fol. 048 LAST PLAN REFERENCE: Lot J on PS743464L POSTAL ADDRESS: 1121 Dohertys Road (at time of subdivision) TARNEIT 3029 MGA 94 CO-ORDINATES: E: 295 950 ZONE: 55 (of approx centre of land in plan) N: 5811 000		Council Name: Wyndham City Council Council Reference Number: WYS3883/16 Planning Permit Reference: WYP6863/13 SPEAR Reference Number: S091494A Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 12/12/2018 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made Digitally signed by: Caitlin Anne Spratling for Wyndham City Council on 10/02/2020 Statement of Compliance issued: 10/02/2020		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON			
Road R1	Wyndham City Council			
NOTATIONS		Lots on this plan may be affected by one or more restrictions. Refer to Creations of Restriction A & B on Sheets 7 & 8 of this plan for details. OTHER PURPOSE OF PLAN To Remove that part of easement E-6 created on PS743462Q in so far as where it lies within Road R1 herein. To Remove E-8 created on PS743462Q in so far as where it lies within Road R1 herein. GROUND FOR REMOVAL: By agreement between all interested parties pursuant to Section 6(1)(k) of the Subdivision Act 1988. Lots 1 to 900 (both inclusive) have been omitted from this plan.		
DEPTH LIMITATION: Does Not Apply				
SURVEY: This plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. WYP 6863/13				
EMERALD PARK - Release 9 Area of Release: 2.174ha No. of Lots: 21 Lots, Superlot AA and Balance Lot K				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
Easements E-1, E-2 & E-4 have been omitted from this plan.				
E-3	Sewerage	See Diag.	PS733919B	City West Water Corporation
E-5	Sewerage	See Diag.	PS743462Q	City West Water Corporation
E-6	Drainage	See Diag.	PS743462Q	Wyndham City Council
E-7	Drainage	See Diagram	PS743462Q	Wyndham City Council
	Sewerage		PS733919B	City West Water Corporation
E-8	Drainage	See Diagram	PS743463N	Wyndham City Council
	Sewerage			City West Water Corporation
E-9	Sewerage	See Diag.	PS743464L	City West Water Corporation
E-10	Sewerage	2.50	This Plan	City West Water Corporation
 Urban Development Built Environments Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorstds.com.au		SURVEYORS FILE REF: Ref. 02270-S9		ORIGINAL SHEET SIZE: A3
		Digitally signed by: Richard David Illingworth , Licensed Surveyor, Surveyor's Plan Version (12), 07/02/2020, SPEAR Ref: S091494A		SHEET 1 OF 8 PLAN REGISTERED TIME: 5:41 PM DATE: 13/02/2020 C. Grosso Assistant Registrar of Titles

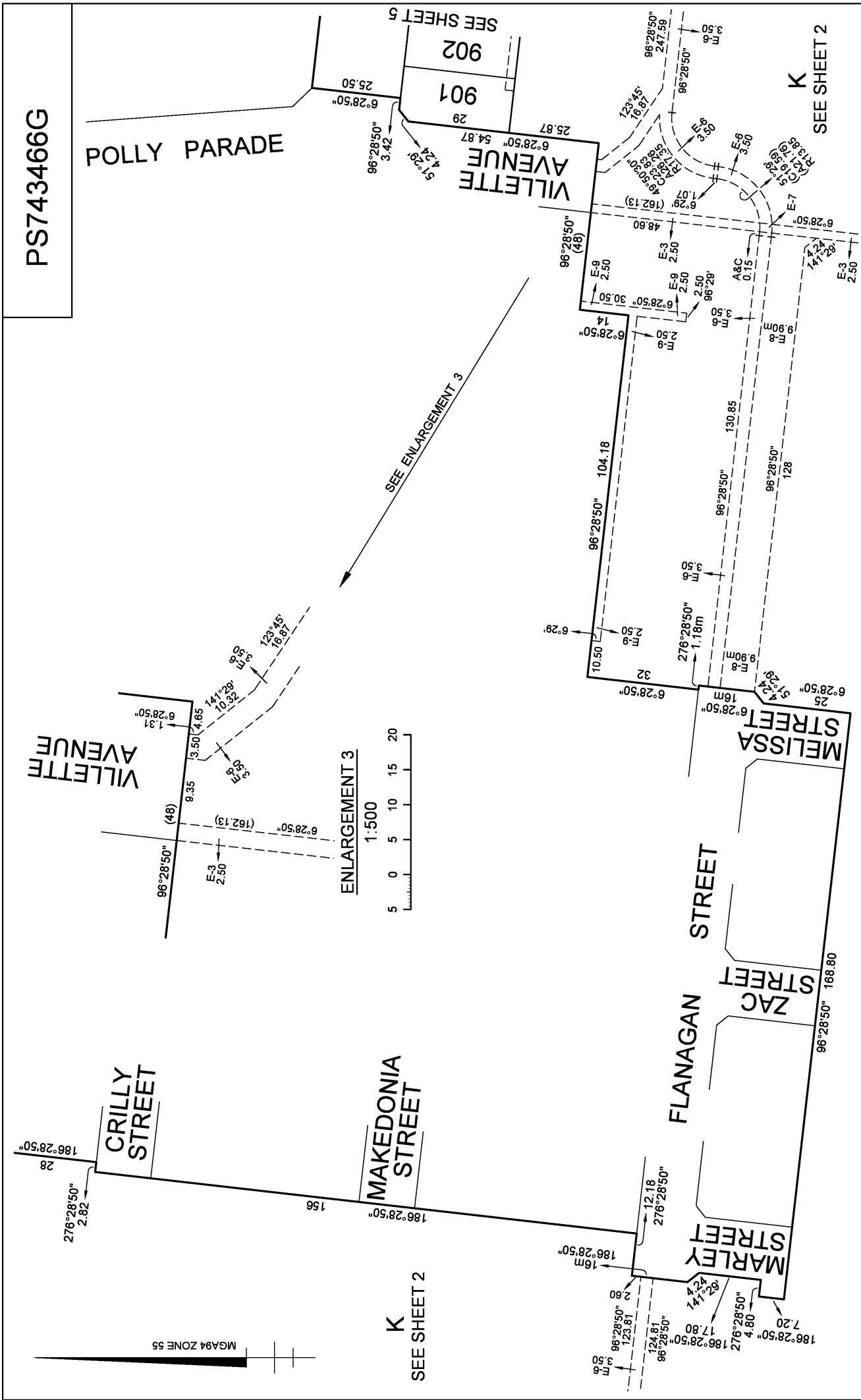
PS743466G



MGA94 ZONE 55



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	<p>Digitally signed by: Wymham City Council, 10/02/2020, SPEAR Ref: S091494A</p>	<p>Scale: 1:3000 Lengths are in metres 30 0 30 60 90 120</p>	<p>Original Sheet Size: A3</p>	<p>Ref: 02270-S9</p>	<p>Sheet 2</p>

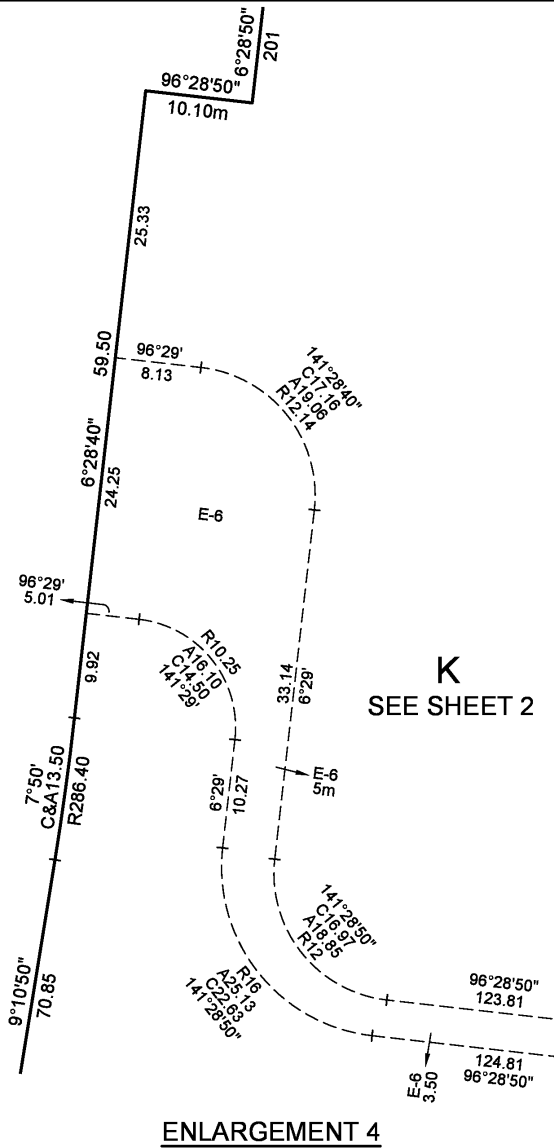


PS743466G

<p>TAYLORS Urban Development Built Environments Infrastructure 8/270 Fernfree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorsds.com.au</p>	SCALE 1:1000 LENGTHS ARE IN METRES 0 10 20 30 40	ORIGINAL SHEET SIZE: A3	Ref. 02270-S9	SHEET 3
	Digitally signed by: Richard David Ilingworth, Licensed Surveyor, Surveyor's Plan Version (12), 07/02/2020, SPEAR Ref: S091494A			

PS743466G

TARNEIT ROAD



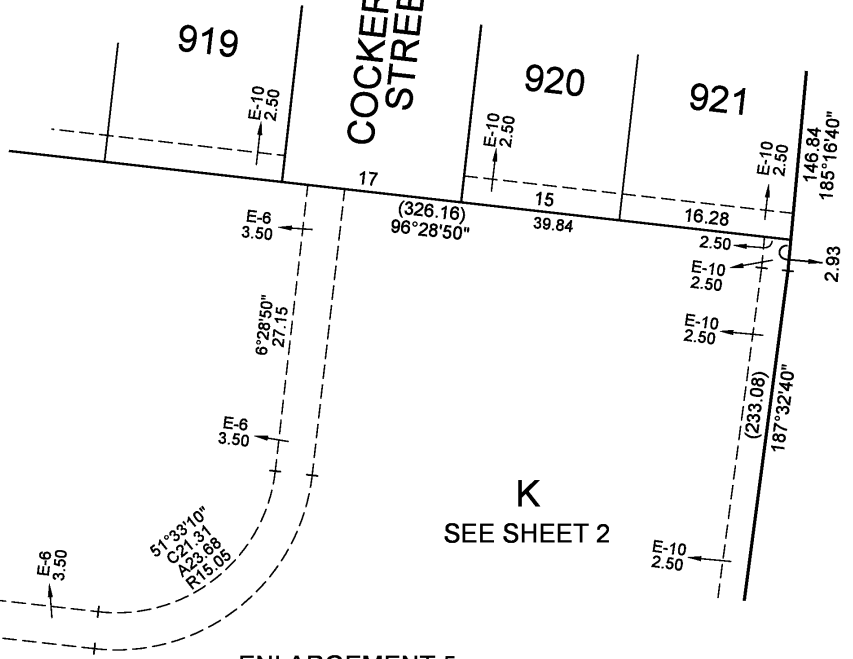
ENLARGEMENT 4

SEE SHEET 3

K
SEE SHEET 2



COCKERELL STREET



ENLARGEMENT 5

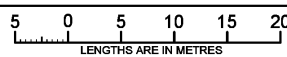
SEE SHEET 3

K
SEE SHEET 2

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SCALE
1:500



ORIGINAL SHEET
SIZE: A3

Ref. 02270-S9

SHEET 4

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SPEAR Ref: S091494A

PS743466G

POLLY PARADE

MGA94 ZONE 55

POLLY

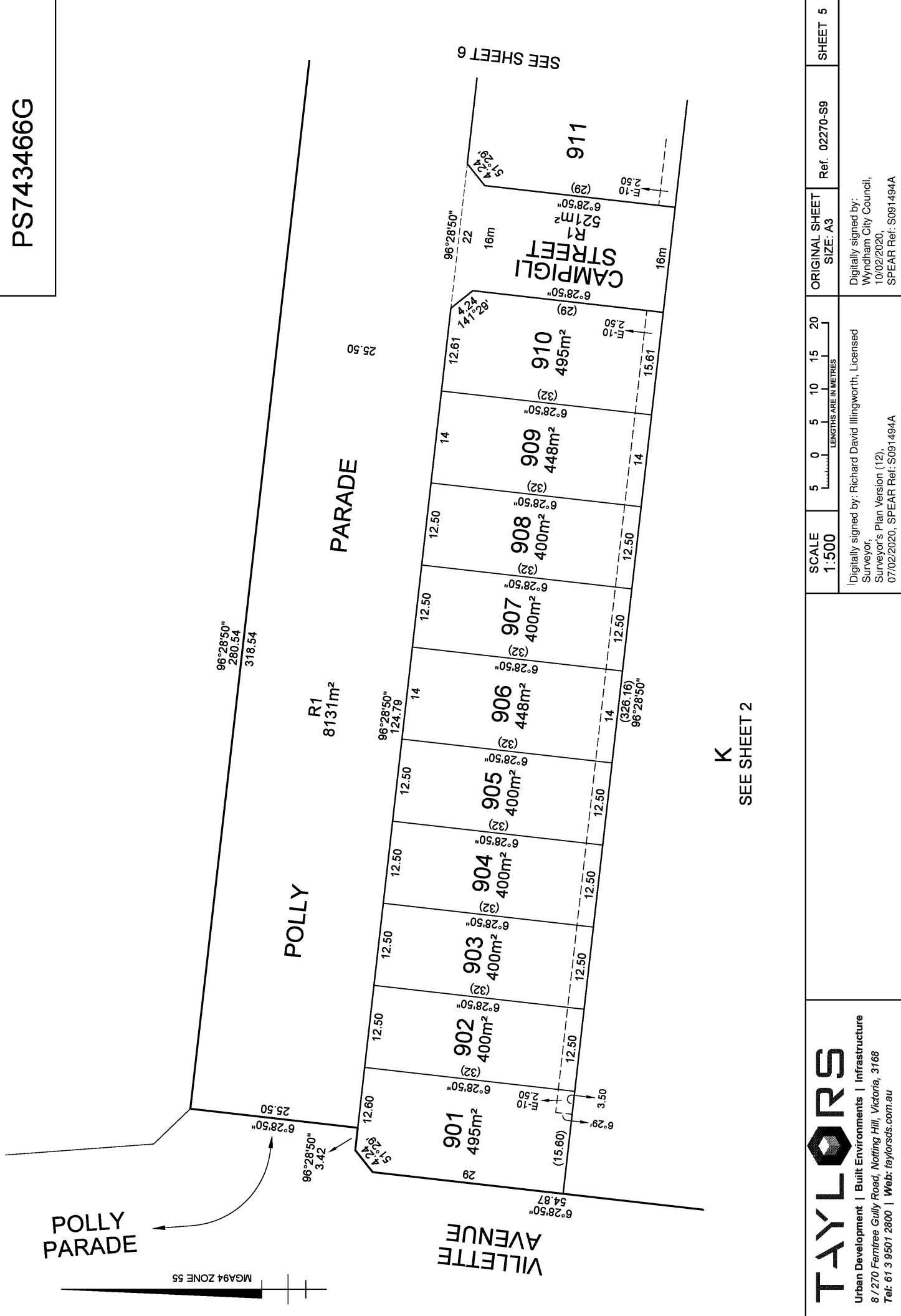
R1
8131m²

PARADE

VILLETTE AVENUE

SEE SHEET 6

K
SEE SHEET 2



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	<p>Digitally signed by: Richard David Illingworth, Licensed Surveyor, Surveyor's Plan Version (12), 07/02/2020, SPEAR Ref: S091494A</p> <p>Digitally signed by: Wymham City Council, 10/02/2020, SPEAR Ref: S091494A</p>		

PS743466G

SEE SHEET 2

MGA94 ZONE 55

AA

POLLY

R1

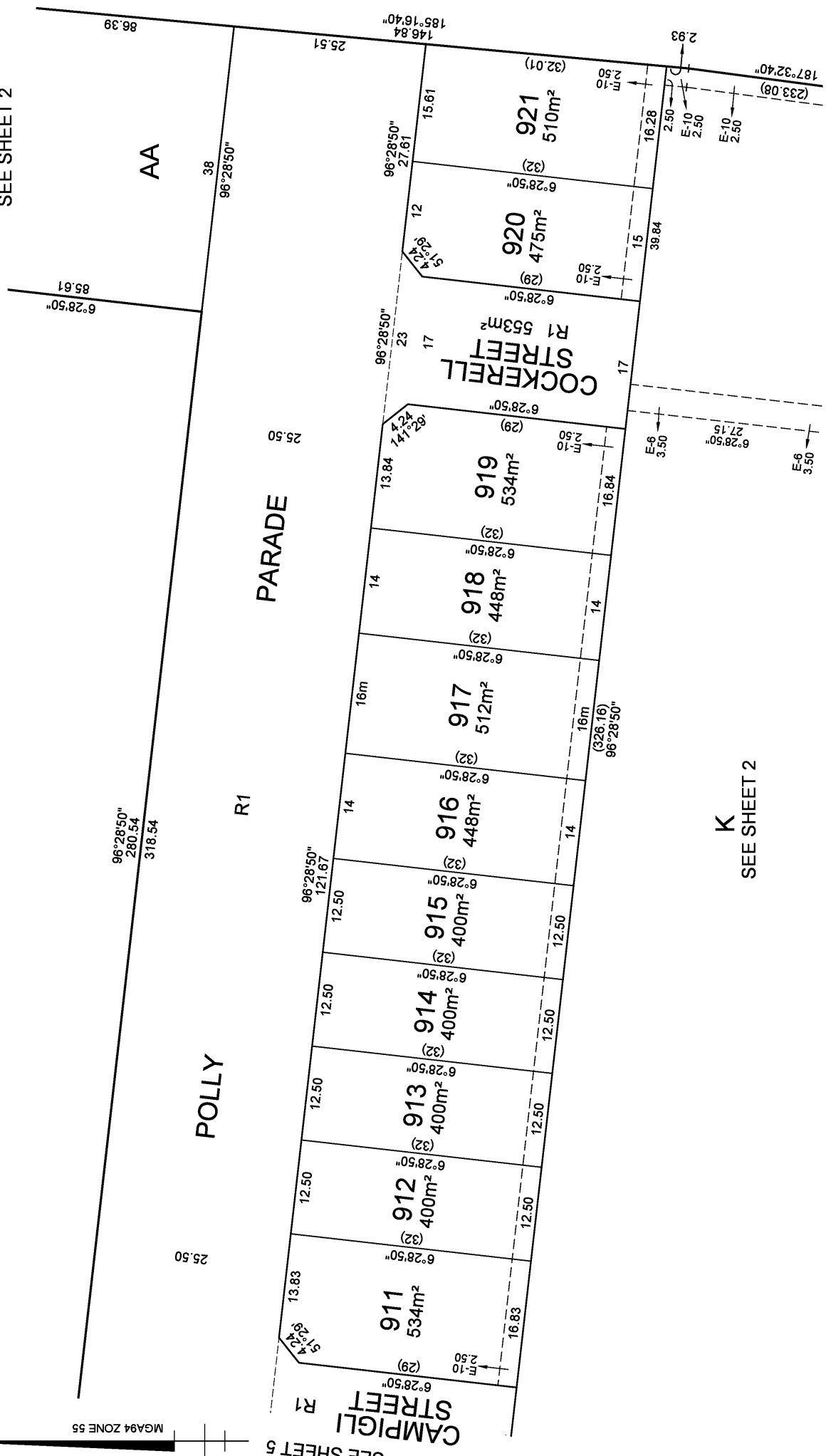
PARADE

SEE SHEET 5

CAMPIGLI STREET R1

COCKERELL STREET R1

K SEE SHEET 2



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SCALE 1:500

5 0 5 10 15 20
LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

Ref. 02270-S9

SHEET 6

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SPEAR Ref: S091494A

CREATION OF RESTRICTION 'A'

PS743466G

The following Restriction is to be created upon Registration of this plan.

LAND TO BE BURDENED: See Table 1
 LAND TO BENEFIT: See Table 1

DESCRIPTION OF RESTRICTION

Except with the written consent of the Responsible Authority the registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not:

1. Construct or allow to be constructed or remain on the lot any building or garage outside the building envelope shown hatched in the schedule on sheet 8 of this plan (excluding allowable projecting building elements that project outside the building envelopes as contained in Part 5 Regulation 74(3), 79(3) & 79(4) of the Building Regulations 2018).
2. Construct any building or garage on a side boundary of a lot unless the building or garage is set back a minimum of 1 metre from the other side boundary of that lot.
3. Construct a garage or carport which is set back less than 5.5 metres from the front boundaries.
4. Construct a garage with an opening which occupies more than 40% of the width of the lot frontage.
5. Construct a building which, notwithstanding the extent of the building envelope, fails to otherwise meet the requirements of Part 5 of the Building Regulations 2018.

This Restriction shall cease to have affect after the issue of the certificate of occupancy (or the like) under the Building Act 1993 for the whole of the parcel.

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
901	902
902	901, 903
903	902, 904
904	903, 905
905	904, 906
906	905, 907
907	906, 908
908	907, 909
909	908, 910
910	909
911	912

TABLE 1 (Continued)

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
912	911, 913
913	912, 914
914	913, 915
915	914, 916
916	915, 917
917	916, 918
918	917, 919
919	918
920	921
921	920

CREATION OF RESTRICTION 'B'

Upon registration of this plan the following restriction is created.

LAND TO BE BURDENED: Lots 901 to 921 (both inclusive) on this plan.
 LAND TO BENEFIT: Lots 901 to 921 (both inclusive) on this plan.

DESCRIPTION OF RESTRICTION

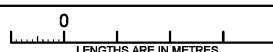
THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT TO WHICH THIS RESTRICTION APPLIES MUST NOT BUILD OR PERMIT TO BE BUILT A DWELLING OR COMMERCIAL BUILDING UNLESS THE BUILDING INCORPORATES DUAL PLUMBING FOR RECYCLED WATER SUPPLY FOR TOILET FLUSHING AND GARDEN WATERING USE IF IT BECOMES AVAILBLE.

THIS RESTRICTION SHALL CEASE TO APPLY TO ANY BUILDING ON THE LOT AFTER THE ISSUE OF A CERTIFICATE OF OCCUPANCY FOR THE WHOLE OF A DWELLING ON THE LOT.



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SCALE



ORIGINAL SHEET
 SIZE: A3

Ref. 02270-S9

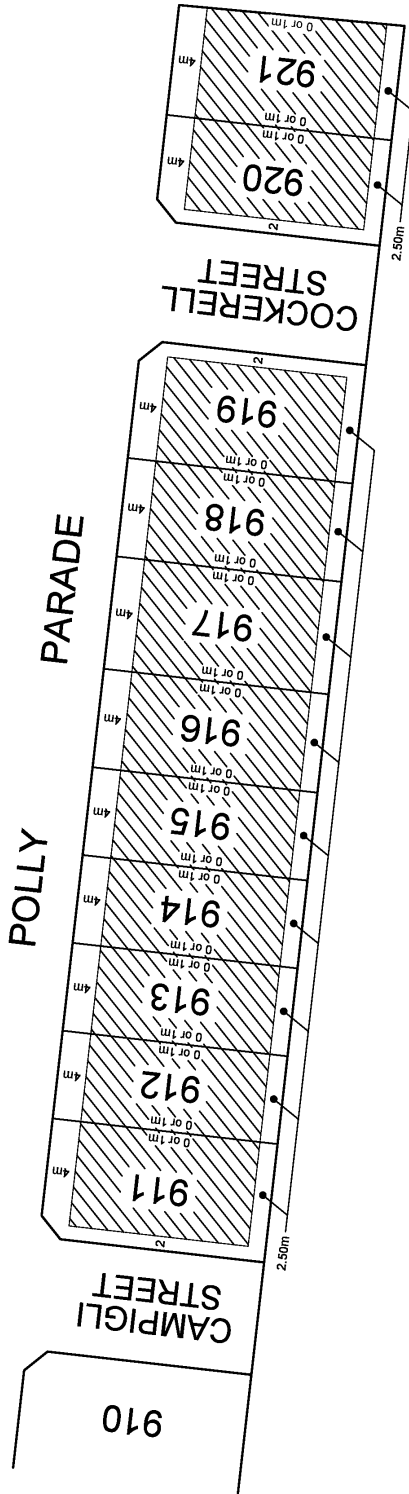
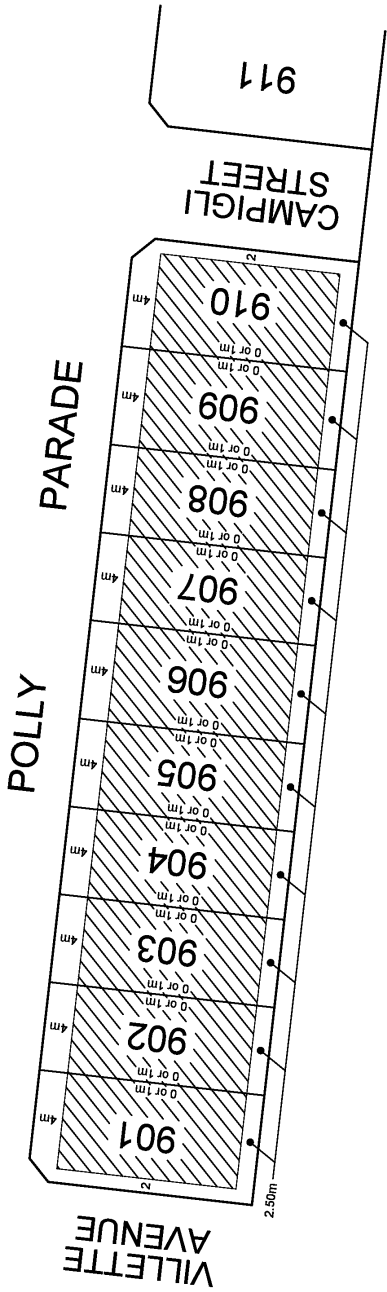
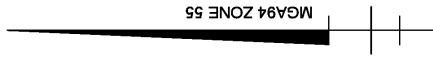
SHEET 7

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SCHEDULE



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	LENGTHS ARE IN METRES					
ORIGINAL SHEET SIZE:	A3					
Ref.	02270-S9					
SHEET	8					