



# Design Guidelines

## VISION

### **1. Emerald Park Tarneit**

Emerald Park Tarneit will be a family-friendly master planned community linked by attractive open spaces and walking trails, with landscaped parkland for shared enjoyment by all the resident families.

The completed Emerald Park community will include around 1100 home sites, giving every family ample choice of size, shape, views and location.

### **2. Purpose of Design Guidelines**

The Design Guidelines have been created to aid in the design of diverse communities with the objective of providing high quality streetscapes and neighborhoods.

The aim is to assist in our goal of creating a premium new neighborhood and help protect your substantial investment.

### **3. Use of Land**

These Design Guidelines shall apply to allotments to be used for single private dwellings.

An allotment of land on this estate, unless otherwise specified shall be used for a single private dwelling and cannot be further subdivided.

If a lot is specified for future subdivision, multi-dwelling development or an alternative use but developed with a single private dwelling, these Design Guidelines will apply.

## **4. Construction Timeline Requirements:**

- 4.1. From Date of Settlement: Commence Construction (12 months). Grassylands Pty Ltd reserve the right to repurchase the allotment if construction has not commenced within 12 months of settlement.
- 4.2. From Date of Settlement: Completion of Construction (24 months)
- 4.3. From Issue of Certificate of Occupancy: Completion of Landscaping (3 months)
- 4.4. From Issue of Certificate of Occupancy: Installation of Window Coverings (3 months). Window covering may include curtains, blinds and non-reflective tinted films. Please note that temporary window coverings will not be accepted.

## **Building Design Requirements**

### **5. Diverse Streetscapes**

- 5.1. Façade design must differ from the next three properties either side of the proposed Lot, as well as across the road.

### **6. Minimum Dwelling Size**

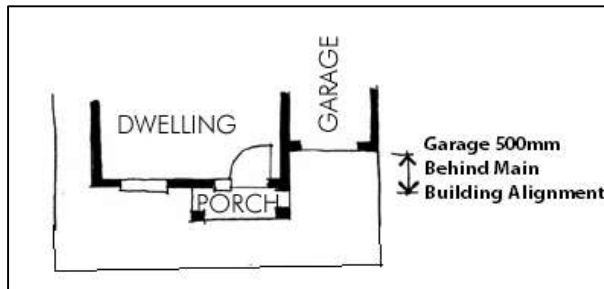
- 6.1. Dwellings on Lots with a site area of 448 square metres and over must have a floor area of at least 180 square metres including garage.
- 6.2. Dwellings on Lots with a site area of lesser than 448 square metres must have a floor area of at least 150 square metres including garage.
- 6.3. The floor area referred to 5.1 and 5.2 above does not apply to the Lots with a site area of 300 square metres or lesser.

### **7. Building Envelopes and Setbacks**

- 7.1. A building must be set back a minimum of 4 metres from the front street boundary. The front boundary is nominated as the boundary with the shorter length.
- 7.2. A porch, portico or verandah under the height of 3.6 metres, may encroach into the front setback by a maximum of 1.5 metres.
- 7.3. On allotments with more than one street frontage (corner allotment), dwellings must be setback a minimum of 2 metres from the side street frontage.
- 7.4. On allotments adjacent to open space reserves; dwellings are to be setback a minimum of 1 metre from the reserve boundary.
- 7.5. The front wall of a garage must be set back a minimum of 5.5 metres from the front boundary.
- 7.6. A single storey dwelling must be setback a minimum 1 metre from at least one side boundary.
- 7.7. A single storey dwelling must be setback from the side and rear boundary in accordance with Part 4 of the Building Regulations.
- 7.8. A double storey dwelling must be setback from the side and rear boundary in accordance with Part 4 of the Building Regulations.
- 7.9. A garage or dwelling may be built to one side boundary only. Walls constructed on boundaries must be in accordance with Part 4 of the Building Regulations.

## 8. Vehicle Accommodation

- 8.1. Garages must not protrude past the front wall of the house and must be setback from the front boundary by a minimum of 5.5 metres.
- 8.2. Garage must be set back a minimum of 500mm from the main building alignment.
- 8.3. Garage doors facing a street frontage must be panel style and colour coordinated with the dwelling.
- 8.4. Roller Garage doors are not permitted where they are visible from a street or reserve.
- 8.5. Carports are not permitted where they are visible from a street or reserve.
- 8.6. For single storey dwellings a garage door opening or total width of multiple garage door openings is not to exceed 40% of the width of the allotment.



MINIMUM GARAGE SETBACK FROM BUILDING LINE

## 9. Entry Statements

- 9.1. An entry structure/feature such as a portico, porch or balcony is required to clearly identify the main entry to the house.
- 9.2. A minimum floor area of 2m<sup>2</sup> is required for a porch/portico or balcony.
- 9.3. Entries are required to be visible from the street frontage.

## 10. Roof

- 10.1. Building must include roof design that is integrated with the whole building design.
- 10.2. Roofs must be constructed from Terracotta, slate or concrete tiles.
- 10.3. Colorbond roofing is permitted. Other non-reflective roof material is permitted. Zinalume corrugated iron sheeting is prohibited.
- 10.4. Roof colours are to be of neutral tones.
- 10.5. Eaves are encouraged but not mandatory for standard allotments.
- 10.6. For single storey dwellings flat roofs should be in accordance with architectural merit.

## 11. Street Appearance

- 11.1. Where a garage faces the front (shortest) boundary, the dwelling must include an entry structure/feature and at least one habitable room with at least one window facing the same boundary.
- 11.2. External roller shutters and security screens are not permitted where visible from a street or reserve.
- 11.3. Lightweight infill materials are not permitted above windows and doors where they are visible to the street or reserve. This includes, but not limited to: F.C Cement Sheeting, Hardiflex Cladding or similar.
- 11.4. The external colour scheme of your home should complement the surrounding dwellings within the Estate. They should be neutral tones that blend with the surrounding environment. Vibrant colours should not dominate the facades, but may be used as small feature areas.

- 11.5. Unpainted metalwork is not permitted.
- 11.6. Downpipes, Gutters and Fascia should be colour coordinated with the remainder of the façade.



**APPROPRIATE FAÇADE  
TREATMENT**



**NON-COMPLIANT ROLLER SHUTTERS**

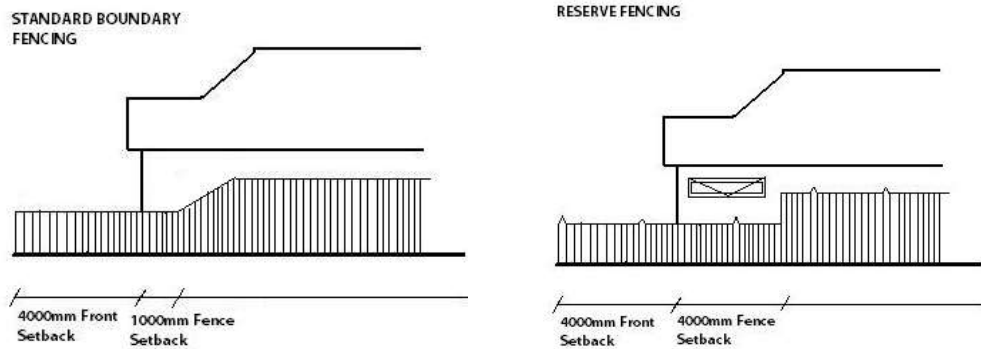
## 12. Corner and Reserve Facing Allotments

- 12.1. Dwellings located on corners and reserves are required to address both the main street frontage and the corner/reserve.
- 12.2. As a minimum standard the elevation facing either a side street or reserve is required to have feature window(s), matching the style of the window(s) on the main façade. The window(s) are required to be within the first 2 metres of the side façade.
- 12.3. First floor windows visible to a reserve should match the style of the façade.
- 12.4. Materials used on the main street façade are required to continue a minimum of 2 metres to the side street/reserve elevation.

## 13. Fencing

- 13.1. Side and rear boundary fencing must be a maximum of 1.8 metres high from ground level.
- 13.2. Side and rear boundary fencing to comprise timber paling fence with 5mm overlap, top capping and 2,400mm wide intervals of square pine post with pointed cap.
- 13.3. Side boundary fencing must be setback a minimum of 1 metre behind the front façade of the dwelling and tapered to the meet front fencing height which must finish behind the building line (Refer Figure 1).
- 13.4. Fencing to side streets (corners) and reserves must finish a minimum of 4 metres behind the main building alignment. (Refer Figure 2). Fencing forward of 4 metres behind the main building alignment must be a maximum of 1m.
- 13.5. Fencing to side streets and reserves to be maximum 1 metre high from front boundary to 4 metres behind the building alignment exposing the feature windows required for passive surveillance.

- 13.6. Fencing to corner allotments facing the streets is to be constructed with colorbond type material in neutral color or brick/masonry piers with steel or aluminum inserts.



- 13.7. Front fencing (along the front boundary) is permitted to a maximum height of 1 metre. Fencing along the front boundary should be constructed of brick/masonry piers with timber, steel or aluminium inserts.

- 13.8. A minimum 30% transparency is required for fencing along the front boundary. Front fencing should be designed and constructed in colours that complement the dwelling.



APPROPRIATE FRONT FENCING

## 14. Landscaping Design

Landscaping plays an integral part in assisting to soften built form of the streetscape. It is also a useful element in providing privacy screening and shade during summer.

- 14.1. A maximum of 60% of your front garden is to comprise of hard surfaces.
- 14.2. A minimum of 40% of your front garden must be landscaped with permeable surfaces such as: shrubs, lawn, plants, ground coverings, trees, mulch.
- 14.3. Careful landscape and plant selection should minimise the need for garden watering. Where appropriate the use of drought tolerant plants should be used.
- 14.4. At least one advanced canopy tree is to be planted within the front yard space.
- 14.5. A letterbox with a house number clearly displayed is to be provided. Letterboxes should be built to replicate the colour, material and style of the dwelling.
- 14.6. It is the responsibility of the allotment owner to establish and maintain grass planting on nature strips. Garden areas that are in public view must be fully landscaped within 6 months of the completion of the construction of the dwelling (Issue of Certificate of Occupancy). They are to be maintained to an appropriate level to satisfy Council.

## **15. Driveways**

- 15.1. Driveways must be constructed of coloured concrete, plain concrete or exposed aggregate.
- 15.2. Only one driveway is permitted per dwelling.
- 15.3. The relocation of crossovers is not encouraged within the estate. Should relocation be required, approval is to be obtained through the relevant authorities at the expense of the purchaser. All relocations are to be in accordance with council requirements.
- 15.4. Driveways are to be no more than 3 metres wide where the driveway meets the existing crossover.
- 15.5. Driveways are to be no wider than the width of the garage to ensure room for landscaping.

## **16. Outbuildings/Sheds**

- 16.1. Sheds and outbuildings must not be visible from the streets or reserves.
- 16.2. Sheds must not exceed 10m<sup>2</sup> in total area.
- 16.3. Sheds and outbuildings are not to exceed 3.6 metres at the ridgeline and must have a wall height no greater than 2.4 metres.
- 16.4. Sheds may be constructed of colorbond and colour coordinated with the dwelling.
- 16.5. Galvanized metal is not permitted.

## **17. Ancillary items**

- 17.1. External hot water services, ducted heating units, rainwater tanks, clotheslines and utility meters are not to be visible from streets or reserves.
- 17.2. Any roof mounted satellite dishes and TV aerials are to be located to the rear of the house and be as low as possible on the roof. Note: These may not be required depending upon what telecommunications services the home is connected to i.e. Foxtel and Digital TV.
- 17.3. Boats, caravans, trailers, commercial vehicles or other recreational vehicles are not permitted to be parked on your property unless they are screened from public view. Storage of these vehicles may occur where there is provision of a rear door to your garage for drive through storage.
- 17.4. Meter boxes must be painted to match the surrounding wall colour.
- 17.5. Solar Hot Water and Solar Electricity panels should not be visible from adjacent streets or reserves.
- 17.6. Evaporative Cooling Units and Air Conditioners must not be visible from the adjacent streets or reserves & be installed below the adjacent ridgeline.
- 17.7. Refuse bins must not be stored where visible from the street.

## **18. Sustainability and Comfort**

Emerald Park Tarneit supports and encourages all efforts made to reduce a household impact on the environment, particularly by limiting the overall energy and water consumption for the household. Whilst all the homes must achieve a minimum energy rating requirements, other methods may assist further increasing the energy efficiency of your home.

More specifically, Environmentally Sustainable Design (E.S.D) focuses on protecting and conserving the local environment by 'designing in' and constructing to minimize the ongoing impact running a home has on the environment.

Consideration of the following principals of E.S.D is encouraged:

- Where possible orientate living area to the north;
- Review overall size of home (compact housing forms are more energy efficient);
- Design to take advantage of passive solar heating and cooling by;
  - Maximize north facing walls and glazing
  - Provide reasonable shading of north facing windows
  - Minimize east and west (in particular) orientated glazing
- Incorporate eaves;
- Orientate your home to catch prevailing breezes and take advantage of cross ventilation (including internal doors);
- Consider landscaping to provide shade.

## **19. Recycled Water Requirements**

Emerald Park Tarneit will provide infrastructure to enable supply of recycled water by City West Water Limited. It is a requirement that all dwellings in the estate connect to recycled water infrastructure and provide dual plumbing in accordance with Recycled Water Plumbing Guide 2005 (Plumbing Industry Commission) and W.A.S.A. Dual Water Supply Supplement to the satisfaction of the Plumbing Industry Commission, including requirements for inspections.

## **20. Right to Vary or Exclude Requirements**

Emerald Park Tarneit reserves the right at its discretion to vary or exclude minor requirements under these guidelines from time to time, subject to Council's approval, provided they consider any variation to be keeping with the aims of establishing a well-designed estate encouraging an attractive built form.

NOTE: Minor requirements exclude: Fencing, landscaping, building setbacks, garage designs and façade articulation. The parameters set out in the Design Guidelines for these items must be adhered to.